

SECONDARY DWELLING & OUTBUILDING

6 LEON AVENUE, ROSELANDS NSW 2196 | LOT 6 DP 26971



SHEET LIST	
NUMBER	NAME
24020-01	COVER SHEET
24020-10	EXISTING SITE PLAN & ANALYSIS
24020-11	PROPOSED SITE PLAN
24020-12	EROSION & SEDIMENT CONTROL PLAN
24020-13	LANDSCAPE PLANS
24020-14	BASIX COMMITMENTS
24020-15	CONCEPT DRAINAGE PLAN
24020-30	PROPOSED GROUND FLOOR PLAN
24020-40	ELEVATIONS
24020-42	SECTION VIEWS
24020-50	WINDOW & DOOR SCHEDULE
24020-51	SCHEDULE OF MATERIALS & FINISHES
24020-80	GROSS FLOOR AREA PLANS
24020-90	SHADOW DIAGRAMS

REVISION SCHEDULE		
REVISION #	REVISION DESCRIPTION	REVISION DATE
1	ISSUED FOR DA	30/09/2024
2	AMENDED FOR DA	09/12/2024
3	AMENDED FOR DA (BASIX DETAILS)	23/01/2025
4	DA MODIFICATION	23/02/2025

GENERAL NOTES

MECHANICAL VENTILATIONS TO BE INSTALLED TO BATHROOM, KITCHEN AND LAUNDRIES IN ACCORDANCE WITH PART 10.8.2 OF THE BCA 2022

SMOKE ALARM TO BE LOCATED AND INTERCONNECTED WITH EACH OTHER IN ACCORDANCE WITH PART 9.5.2 AND 9.5.4 OF BCA 2022

ALL GLAZING TO BE IN ACCORDANCE WITH H1 D8 OF BCA 2022

INSULATION TO COMPLY WITH AS/NZS 4859.1 AND TO BE INSTALLED IN ACCORDANCE WITH PART 13.2.2(1)(2)(3) OF BCA 2022

EXTERNAL WINDOWS AND DOORS, EXHAUST FANS, CONSTRUCTION OF CEILINGS, WALLS AND FLOORS, EVAPORATIVE COOLERS TO BE SEALED IN ACCORDANCE WITH PART 13.4.(2)(3)(4)(5)(6)(7) OF BCA 2022

INSULATION OF SERVICES, CENTRAL HEATING WATER PIPING, HEATING AND COOLING DUCTWORK TO BE COMPLETED IN ACCORDANCE WITH PART 13.7(2)(3)(4) OF BCA 2022"

ALL GLAZING TO BE IN ACCORDANCE WITH H1 D8 OF BCA 2022

ENERGY EFFICIENCY REQUIREMENTS TO BE INSTALLED IN ACCORDANCE WITH PART 13 AND NSW PART 13 OF THE BCA 2022

SITE CALCULATIONS

LOT AREA: 678.5m²

MAXIMUM SITE COVERAGE: 50% (339.25m²)

SITE COVERAGE PROPOSED: 35% (237.475m²)

TOTAL FLOOR AREA PERMITTED:

- 60m² for secondary dwelling

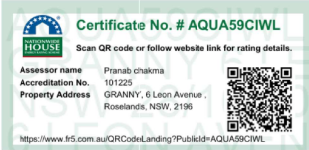
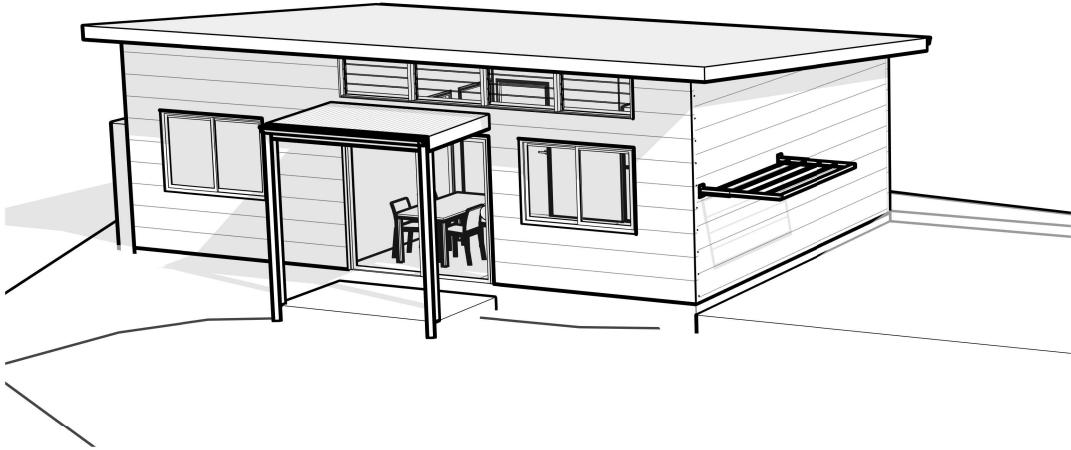
- 330m² for all buildings (per Housing SEPP)

- 339.25m² per LEP FSR

FLOOR AREA PROPOSED - 199.32m²

LANDSCAPE REQUIRED: 25% (169.625m²)

TOTAL LANDSCAPE PROPOSED - 235m²





ROSELANDS
SHOPPING CENTRE
200m



WILEY PARK 1km

LOT B
DP
337309

LOT 233C
DP
360180

LOT 5
DP
26971

LOT 6
DP
26971
(STATED BY DP
26971)
676.5 m²
(BY CALCULATION)

LOT 7
DP
26971

SP
93752

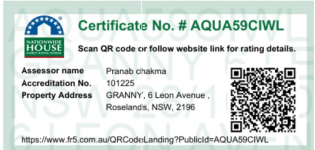
LEON AVENUE



COOLING WINTER
BREEZE



GRAPHIC SCALE: 1:200



LANDSCAPE & PRIVATE OPEN SPACE
REFER TO LANDSCAPE PLAN

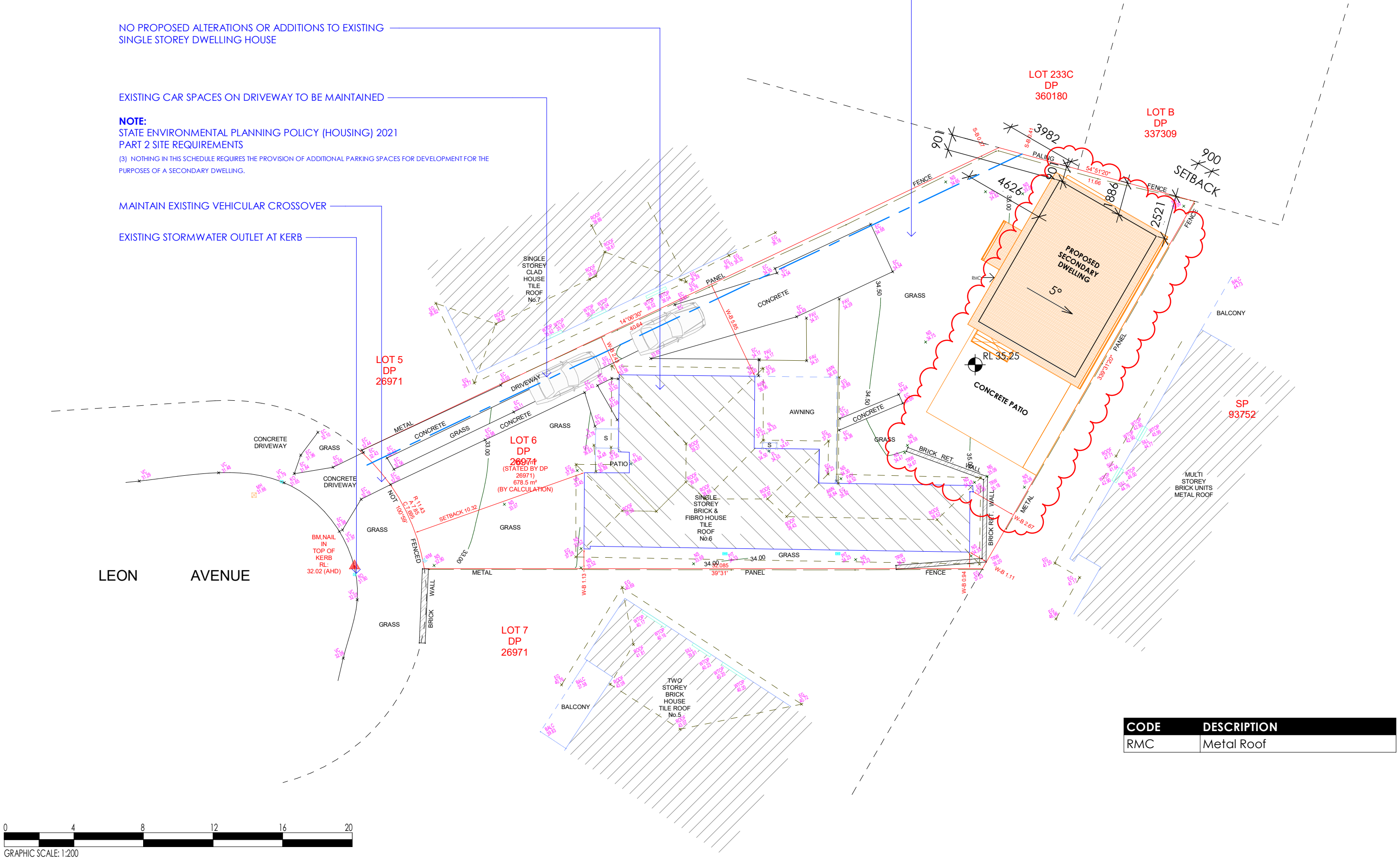
NO PROPOSED ALTERATIONS OR ADDITIONS TO EXISTING
SINGLE STOREY DWELLING HOUSE

EXISTING CAR SPACES ON DRIVEWAY TO BE MAINTAINED

NOTE:
STATE ENVIRONMENTAL PLANNING POLICY (HOUSING) 2021
PART 2 SITE REQUIREMENTS
(3) NOTHING IN THIS SCHEDULE REQUIRES THE PROVISION OF ADDITIONAL PARKING SPACES FOR DEVELOPMENT FOR THE
PURPOSES OF A SECONDARY DWELLING.

MAINTAIN EXISTING VEHICULAR CROSSOVER

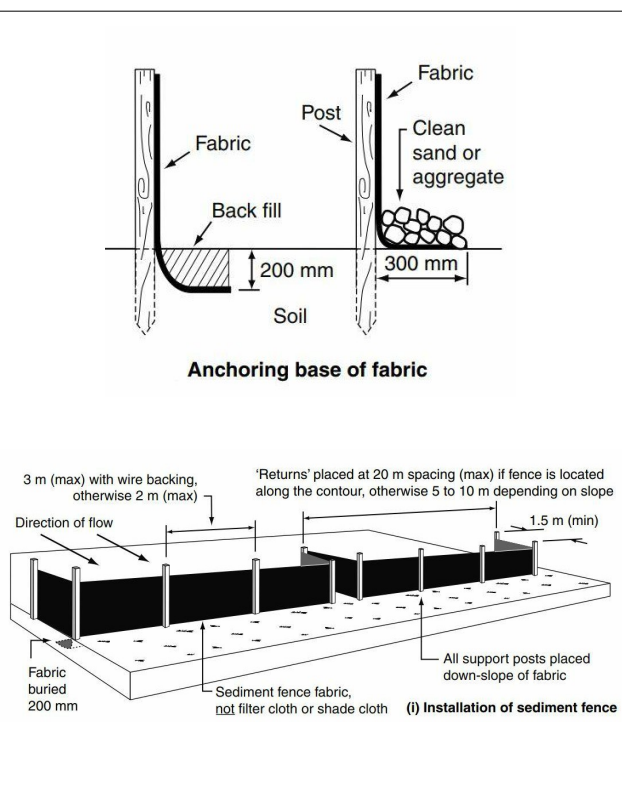
EXISTING STORMWATER OUTLET AT KERB



CODE	DESCRIPTION
RMC	Metal Roof



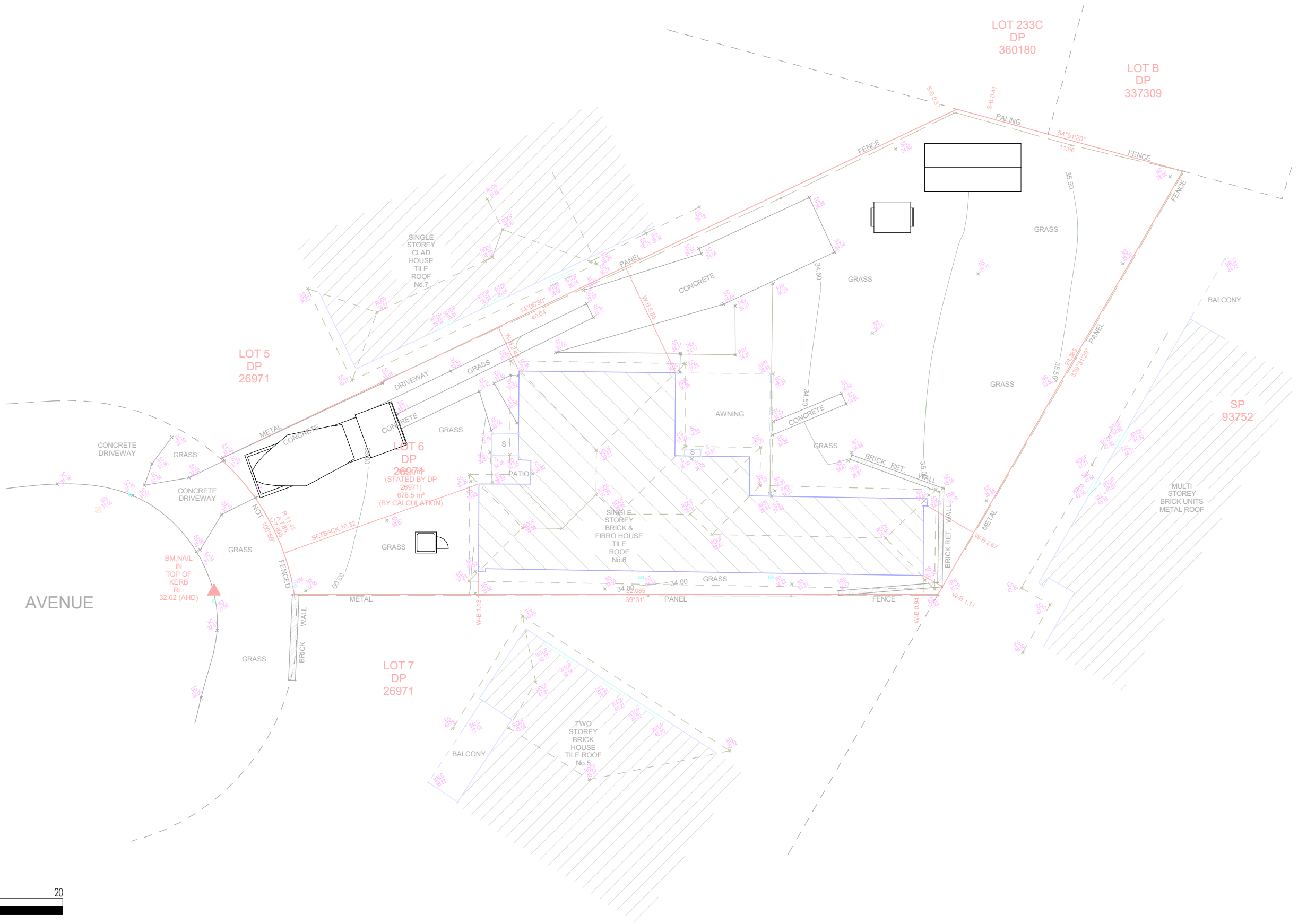
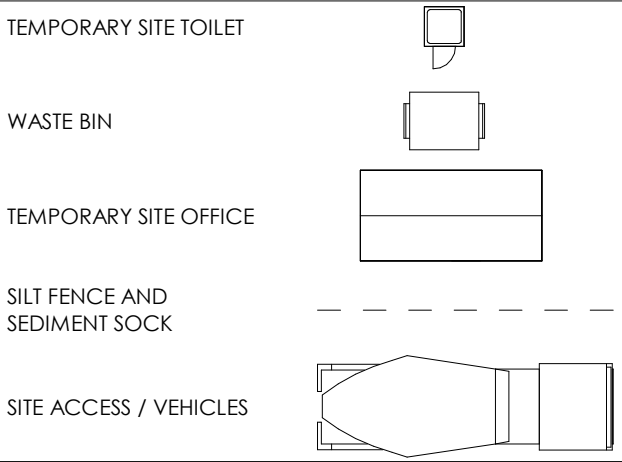
FENCE DETAILS:



GENERAL NOTES:

1. Sediment fence to be installed along a line of constant ground elevation wherever practical.
2. Both end of the sediment fence to extend up the slope at least 1m.
3. Support post to be spaced a maximum 2m unless the fence is supported by a top wire or mesh backing, in which case 3m maximum spacing.
4. Fence 'returns' shall be installed at maximum 20m spacing if fence is installed along the contour, otherwise 5 to 10m spacing.
5. Minimum 4 staples or tie wires per stake.

EROSION AND SEDIMENT CONTROL PLAN LEGEND



BASIX COMMITMENTS

ITEM	TYPE	INSULATION / RATING/ SIZE
FLOOR-1	CSOG	NIL
FLOOR-2	TIM	NIL
EXTERNAL WALL	FC	R 2.5
INTERNAL WALL	STUD	NA
PARTY WALL	CON	NA
ROOF	MDR	1.3

CEILLING	FLAT	R 4
WINDOWS	ALFRAME -CLEAR GLASS	SEE LOCATION IN NATHERS

U-values* windows		Substitution tolerance ranges			
Window ID	Window description	Maximum U-value*	SHGC*	SHGC lower limit	SHGC upper limit
ALM-002-04 A	Aluminium B SG Low Solar Gain Low-E	5.6	0.41	0.39	0.43
ALM-002-01 A	Aluminium B SG Clear	6.7	0.7	0.66	0.74
Custom* windows		Substitution tolerance ranges			
Window ID	Window description	Maximum U-value*	SHGC*	SHGC lower limit	SHGC upper limit
VAN-004-03 A	SERIES 525 LOUVRE WINDOW SG SEVanClr	4.66	0.49	0.47	0.51

WATER	ALL SHOWER HEAD	4 STAR
	ALL TOILET FLUSHING SYSTEMS	4 STAR
	ALL KITCHEN TAPS	4 STAR
	ALL BATH ROOM TAPS	4 STAR
	RAINWATER TANK	2500L
	RECYLING	NA
ENERGY	HOT WATER SYSTEMS	ELE
	AIR CONDITION -LIVING	2.5
	COOKING	GAS/ELECTRIC
	LIGHTING	LED
	SOLAR	NA

BASIX®Certificate
Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1770458S_02

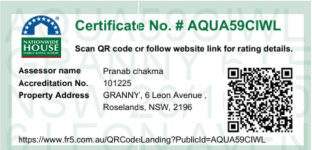
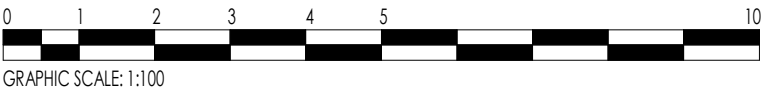
This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

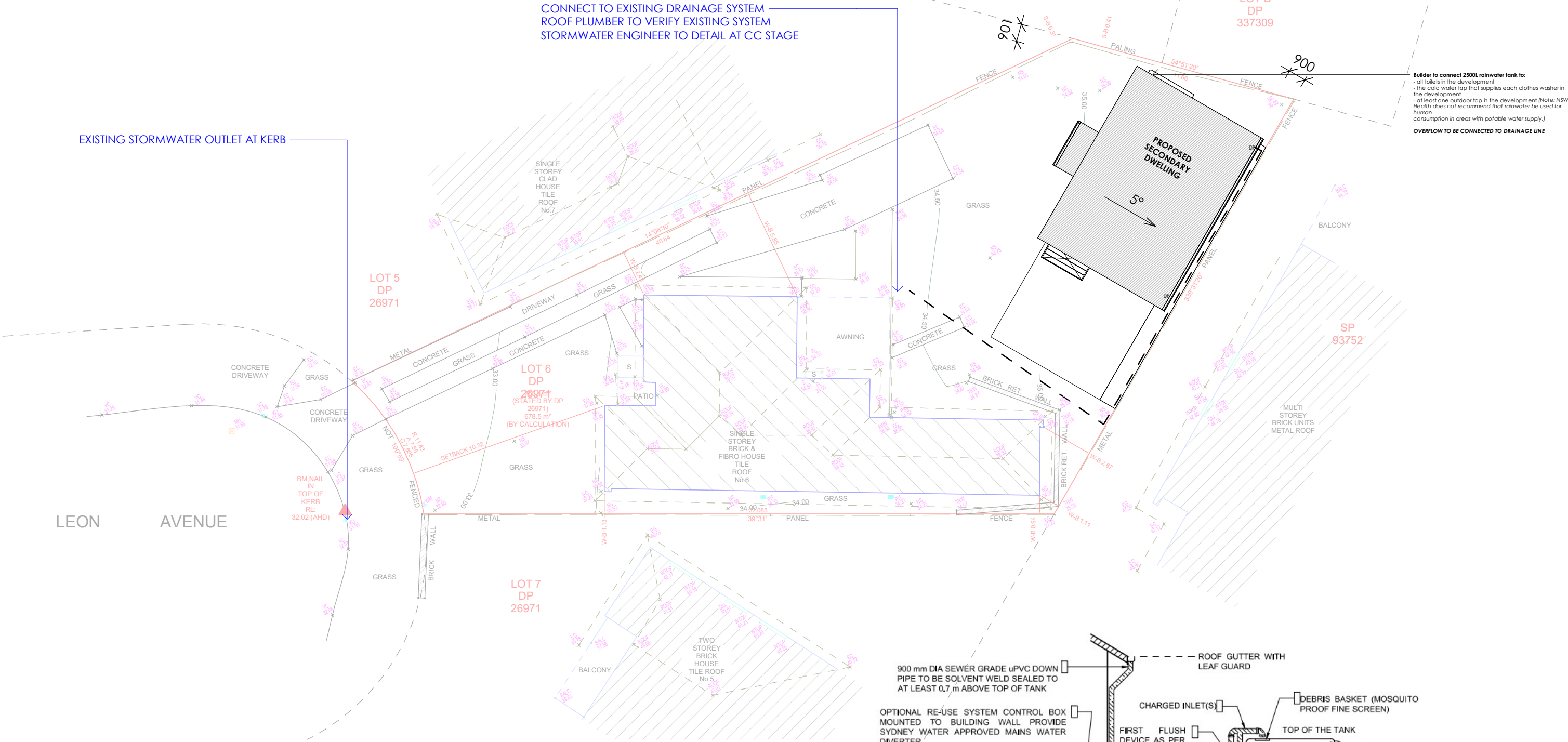
Secretary
Date of issue: Monday, 16 December 2024
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary		
Project name	6 Leon Avenue Roselands 2196_02	
Street address	6 LEON Avenue ROSELANDS 2196	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	Deposited Plan DP26971	
Lot no.	6	
Section no.	-	
Project type	dwelling house (detached) - secondary dwelling	
No. of bedrooms	2	
Project score		
Water	✔ 41	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 70	Target 68
Materials	✔ 5	Target n/a

Certificate Prepared by	
Name / Company Name:	PAUL&DAVID CONSULTING PTY LTD.
ABN (if applicable):	20655264341

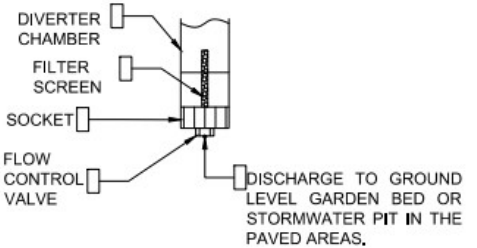
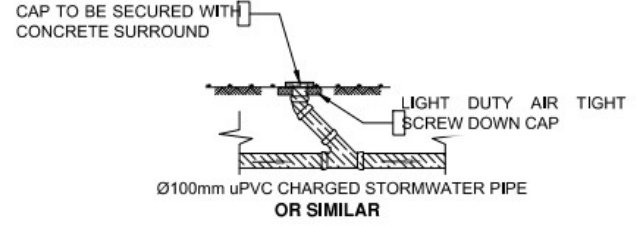




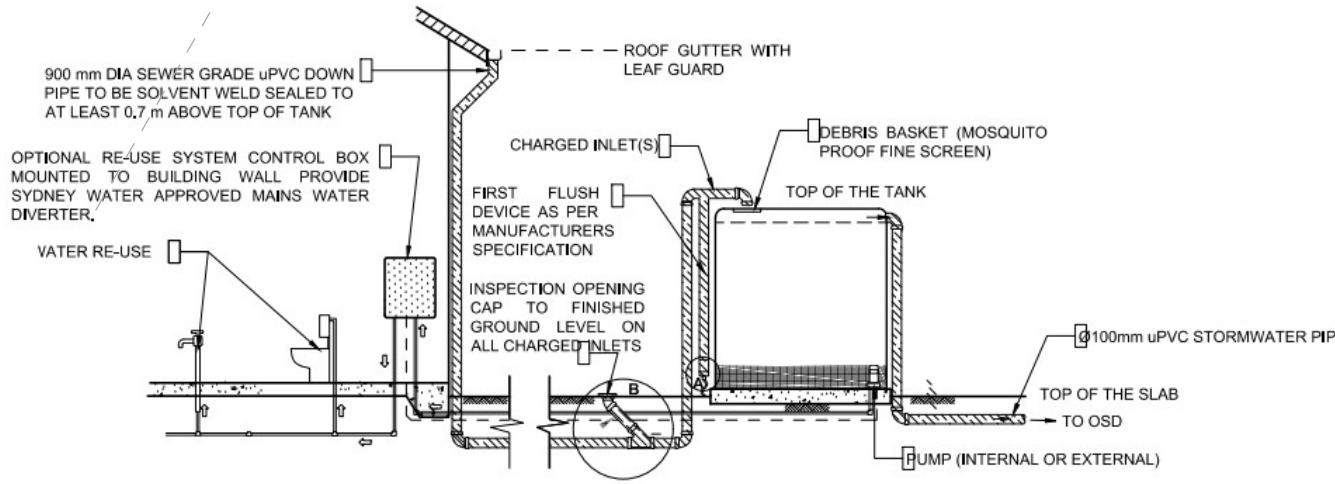
Builder to connect 2500L rainwater tank to:
- all toilets in the development
- the cold water tap that supplies each clothes washer in the development
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)
OVERFLOW TO BE CONNECTED TO DRAINAGE LINE



TYPICAL WARNING SIGN
not to scale






DETAIL AT A OR SIMILAR
not to scale



TYPICAL RAINWATER TANK DETAIL
not to scale OR SIMILAR



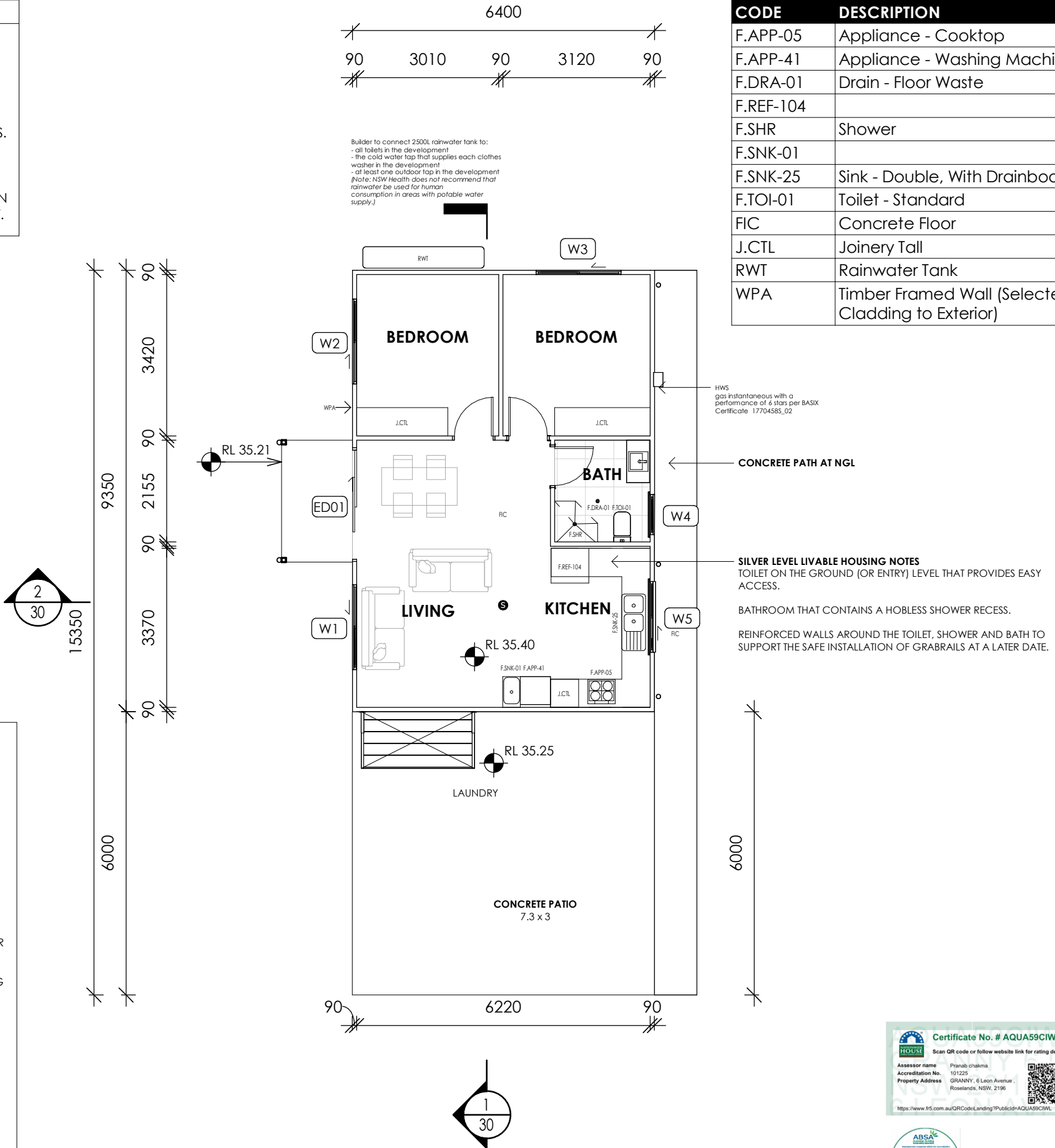
LEGEND	
SYMBOLS	
RL (REDUCED LEVEL TO AHD)	
REVISION TAG NUMBER	
SMOKE ALARM	

GENERAL / SMOKE ALARM NOTE

"SMOKE ALARM TO BE LOCATED AND INTERCONNECTED WITH EACH OTHER IN ACCORDANCE WITH PART 9.5.2 AND 9.5.4 OF BCA 2022"
"MECHANICAL VENTILATIONS TO BE INSTALLED IN ACCORDANCE WITH PART 10.8.2 OF THE BCA 2022".

- INTERNAL WALLS TO BE FINISHED WITH AS SELECTED BY CLIENT
- EXTERNAL WALLS TO BE FINISHED AS PER ELEVATIONS AND FINISHES SCHEDULE
- CONTRACTOR TO ENSURE WALLS ARE SET BACK FOR PROVISION OF CLADDING THICKNESS. ALL MEASUREMENTS OF CLADDING THICKNESS TO BE CONFIRMED PRIOR TO SET OUT OF WALLS
- CLADDING THICKNESS HAS NOT BEEN SHOWN ON THIS DRAWING FOR THE PURPOSES OF CLARITY. ALL EXTERIOR WALLS TO BE SET BACK AS PER THESE PLANS. ANY CLADDING TO BE IN LINE WITH SETBACK SHOWN IN DRAWINGS AND TO BE PROVISIONED DURING WALL SET OUT.

CODE	DESCRIPTION
F.APP-05	Appliance - Cooktop
F.APP-41	Appliance - Washing Machine
F.DRA-01	Drain - Floor Waste
F.REF-104	
F.SHR	Shower
F.SNK-01	
F.SNK-25	Sink - Double, With Drainboard
F.TOI-01	Toilet - Standard
FIC	Concrete Floor
J.CTL	Joinery Tall
RWT	Rainwater Tank
WPA	Timber Framed Wall (Selected Cladding to Exterior)



NOTE: THE GRADIENT FROM FRONT BOUNDARY TO REAR WOULD BE 1:10 (STEEPER THAN 1:14) AND THEREFORE THIS PROVISION DOES NOT APPLY

SILVER LEVEL LIVABLE HOUSING

SILVER LEVEL

A. PROVIDE A SAFE, CONTINUOUS STEP-FREE PATHWAY FROM THE FRONT BOUNDARY OF THE PROPERTY TO AN ENTRY DOOR TO THE DWELLING.

THIS PROVISION DOES NOT APPLY WHERE THE AVERAGE SLOPE OF THE GROUND WHERE THE PATH WOULD FEATURE IS STEEPER THAN 1:14.

B. THE PATH OF TRAVEL REFERRED TO IN (A) SHOULD HAVE A MINIMUM CLEAR WIDTH OF 1000MM AND HAVE:

- I. NO STEPS;
- II. AN EVEN, FIRM, SLIP RESISTANT SURFACE;
- III. A CROSSFALL OF NOT MORE THAN 1:40;
- IV. A MAXIMUM PATHWAY SLOPE OF 1:14

WHERE RAMPS ARE REQUIRED THEY SHOULD HAVE LANDINGS PROVIDED AT NO GREATER THAN 9M FOR A 1:14 RAMP AND NO GREATER THAN 15M FOR RAMPS STEEPER THAN 1:20. LANDINGS SHOULD BE NO LESS THAN 1200MM IN LENGTH.

C. THE PATH OF TRAVEL REFERRED TO IN (A) MAY BE PROVIDED VIA AN ASSOCIATED CAR PARKING SPACE FOR THE DWELLING. WHERE A CAR PARKING SPACE IS RELIED UPON AS THE SAFE AND CONTINUOUS PATHWAY TO THE DWELLING ENTRANCE, THE SPACE SHOULD INCORPORATE:

- I. MINIMUM DIMENSIONS OF AT LEAST 3200MM (WIDTH) X 5400MM (LENGTH);
- II. AN EVEN, FIRM AND SLIP RESISTANT SURFACE; AND

- III. A LEVEL SURFACE (1:40 MAXIMUM GRADIENT, 1:33 MAXIMUM GRADIENT FOR BITUMEN).

D. A STEP RAMP MAY BE INCORPORATED AT AN ENTRANCE DOORWAY WHERE THERE IS A CHANGE IN HEIGHT OF 190MM OR LESS. THE STEP RAMP SHOULD PROVIDE:

- I. A MAXIMUM GRADIENT OF 1:10
- II. A MINIMUM CLEAR WIDTH OF 1000MM (PLEASE NOTE: WIDTH SHOULD REFLECT THE PATHWAY WIDTH)
- III. A MAXIMUM LENGTH OF 1900MM

E. WHERE A RAMP IS PART OF THE PATHWAY, LEVEL LANDINGS NO LESS THAN 1200MM IN LENGTH, EXCLUSIVE OF THE SWING OF THE DOOR OR GATE THAN OPENS ONTO THEM, MUST BE PROVIDED AT THE HEAD AND FOOT OF THE RAMP.



(02) 8719 0569
PO BOX 107, BELMORE NSW 2192
WWW.RENOVATEPLANS.COM.AU



CLIENT NAME: NEIKO KACAROV-PETROVIC
PROJECT TYPE: SECONDARY DWELLING & OUTBUILDING
PROJECT DETAILS: 6 LEON AVENUE, ROSELANDS NSW 2196 |
LOT 6 DP 26971

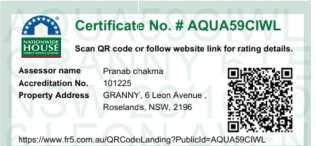
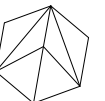
GENERAL ARRANGEMENT

PROPOSED GROUND FLOOR PLAN

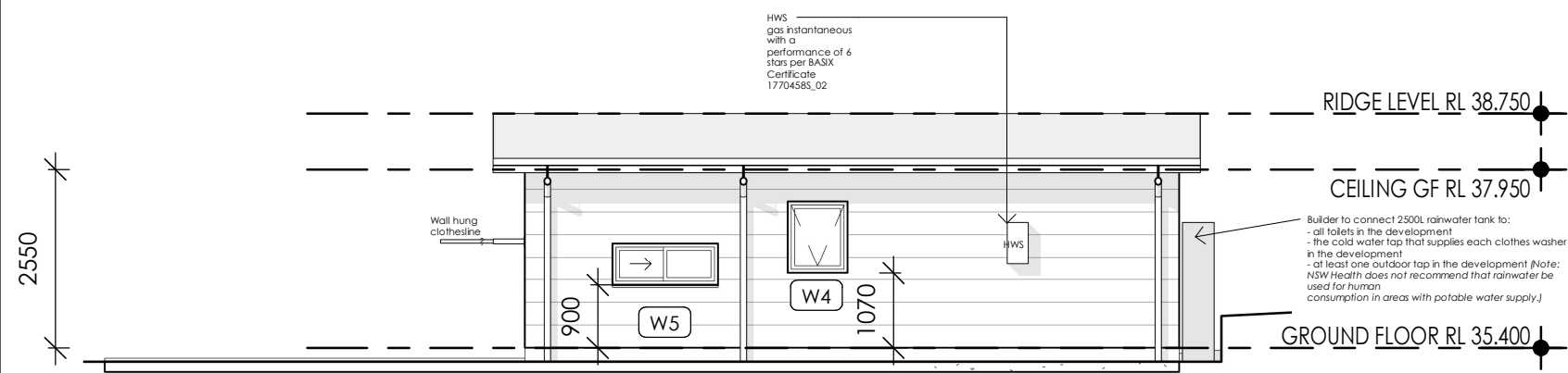
DRAWN BY:
MV
1 : 100

DRAWING NUMBER

30

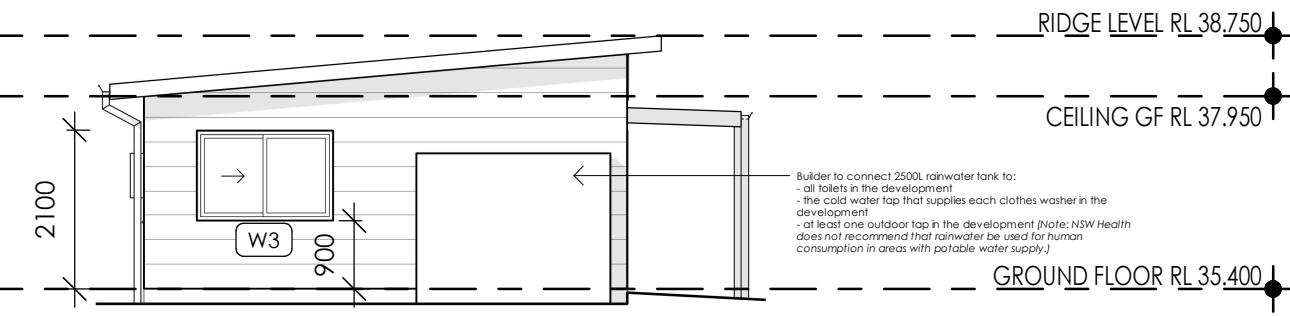


CODE	DESCRIPTION



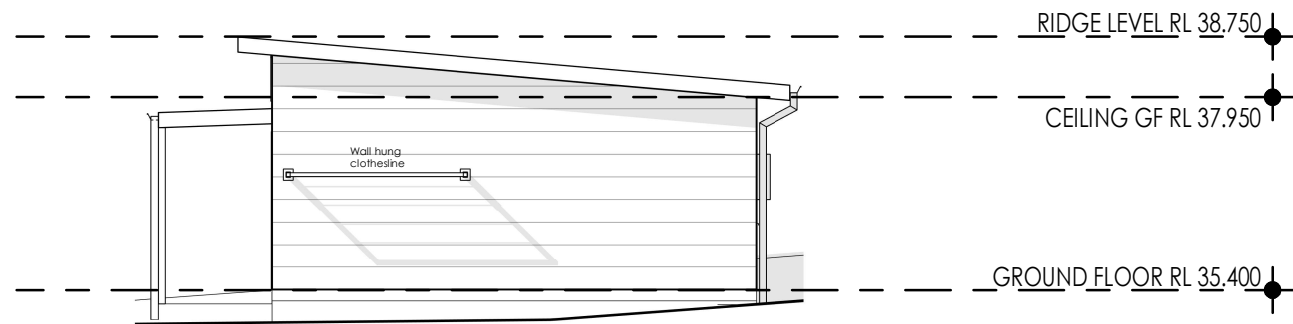
1 | EAST ELEVATION

SCALE: 1 : 100



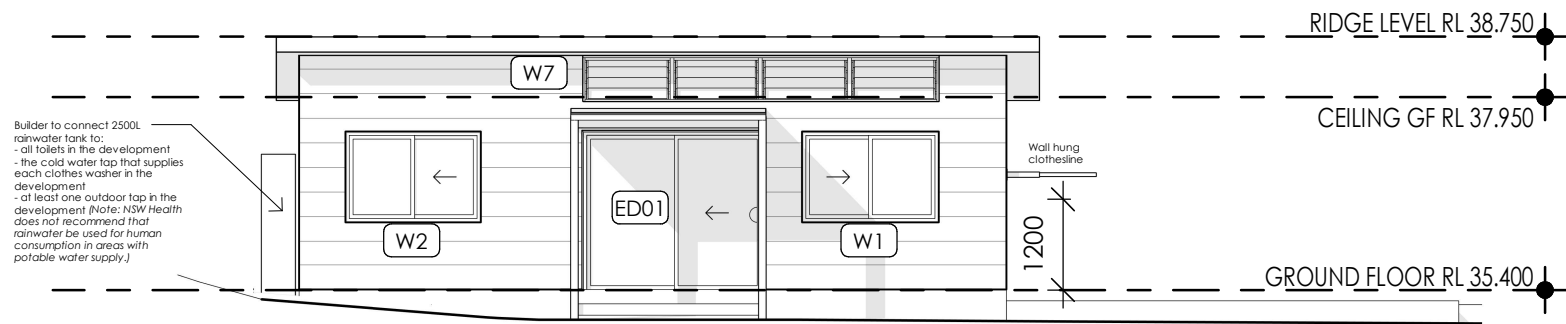
2 | NORTH ELEVATION

SCALE: 1 : 100



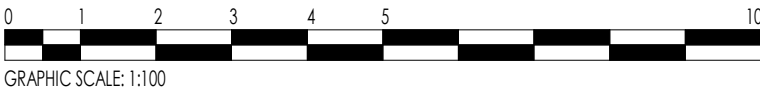
3 | SOUTH ELEVATION

SCALE: 1 : 100

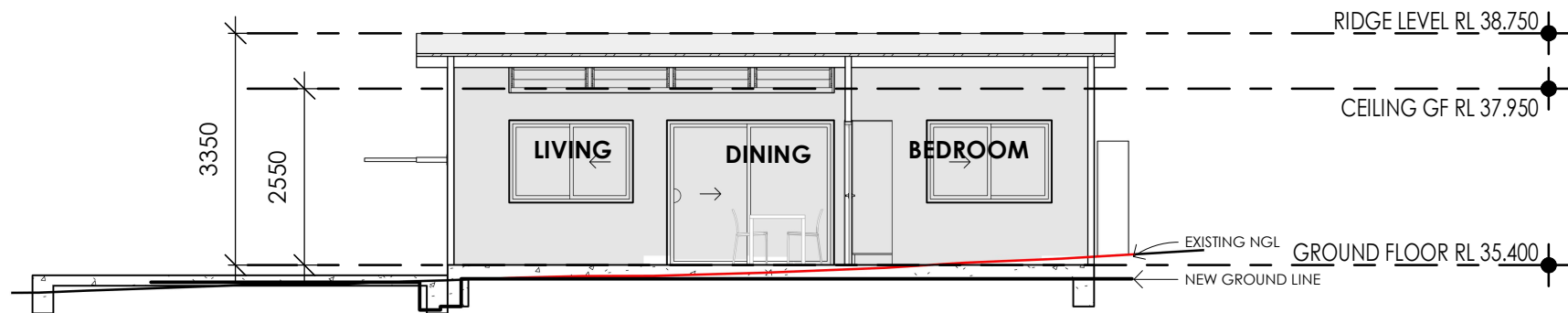


4 | WEST ELEVATION

SCALE: 1 : 100

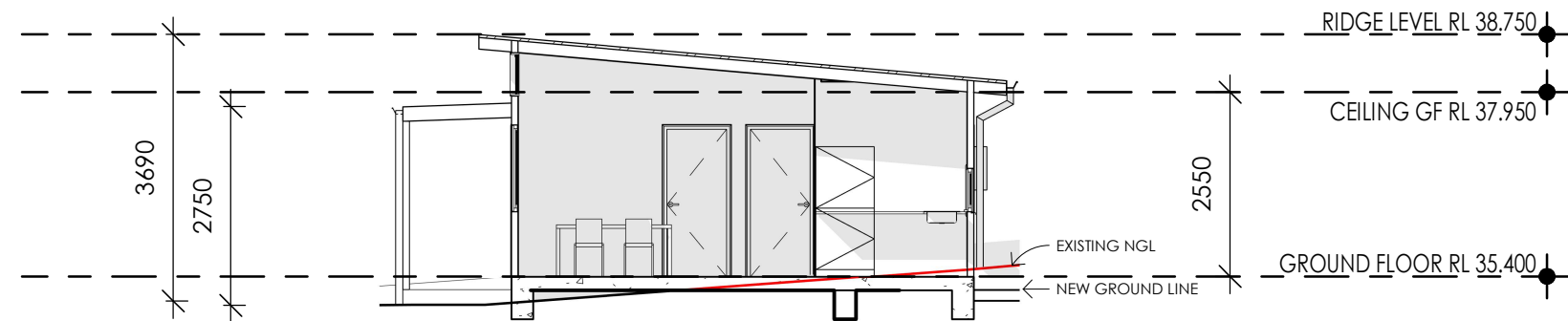


GRAPHIC SCALE: 1:100



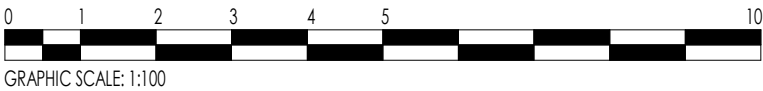
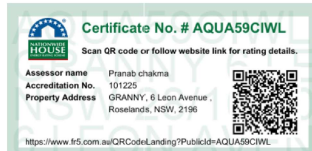
1 | SECTION 1

SCALE: 1 : 100



2 | SECTION 2

SCALE: 1 : 100



DOOR SCHEDULE						
MARK	DESCRIPTION	OPENING		ORIENTATION	FRAME	COMMENTS
		W	H			

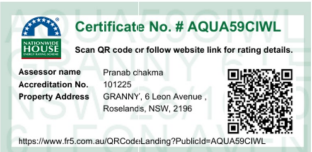
GROUND FLOOR

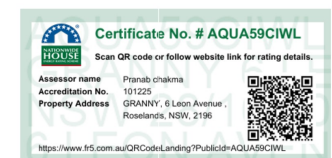
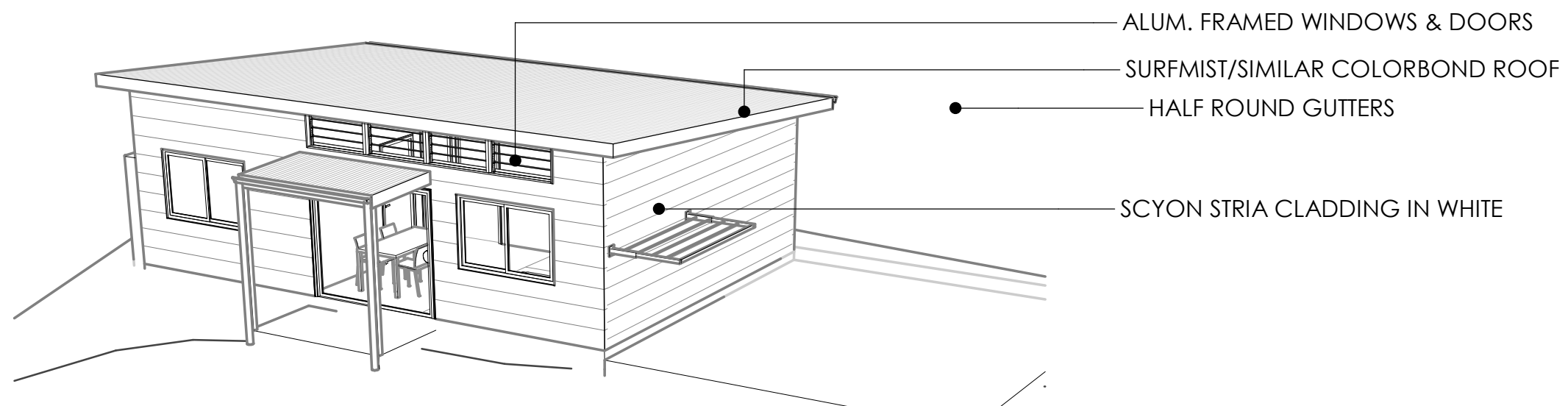
ED01	D.EGS	2410	2100	W	Aluminum	PER BASIX
------	-------	------	------	---	----------	-----------

WINDOW SCHEDULE						
MARK	DESCRIPTION	ORIENTATION	DIMENSIONS			
			W	H	AREA	

GROUND FLOOR

W1	Sliding Window	W	1800	1200	2.16 m²
W2	Sliding Window	W	1800	1200	2.16 m²
W3	Sliding Window	N	1800	1200	2.16 m²
W4	Awning Window	E	850	1030	0.88 m²
W5	Sliding Window	E	1500	600	0.90 m²
W7	Louvre Window	W	4700	600	2.82 m²





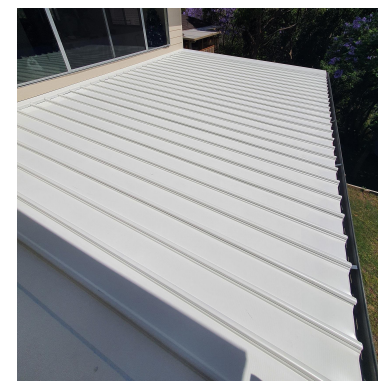
SCYON STRIA CLADDING IN WHITE



HALF ROUND GUTTERS



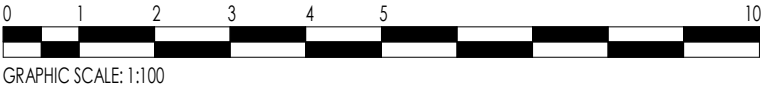
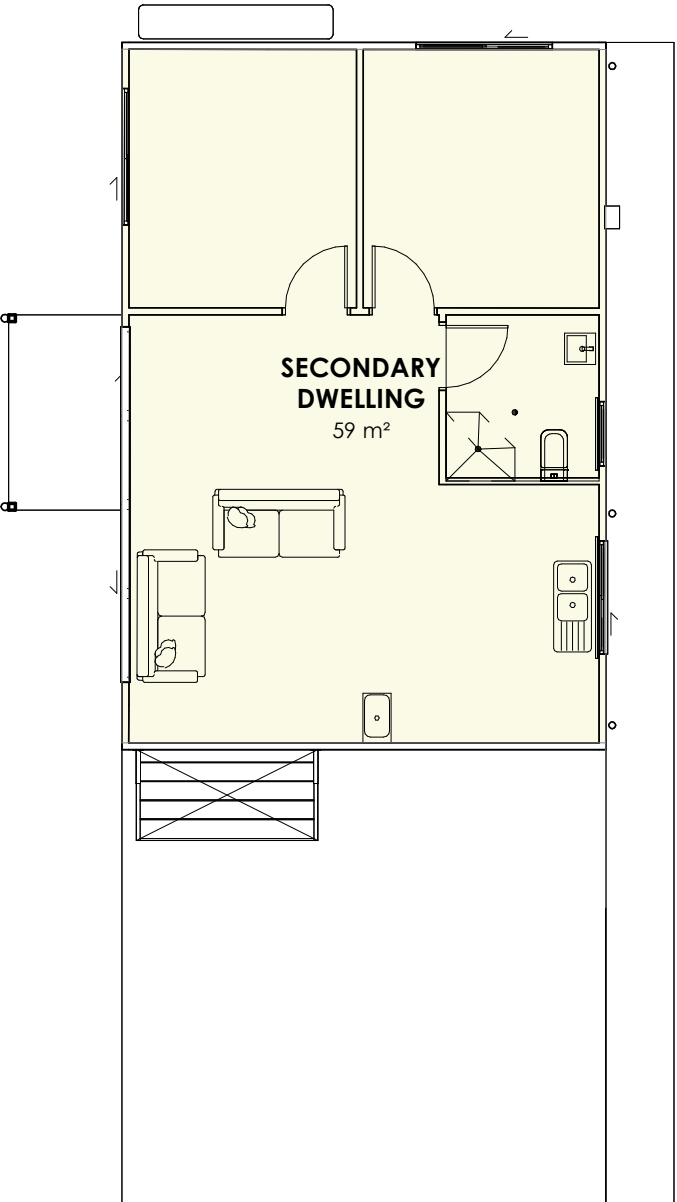
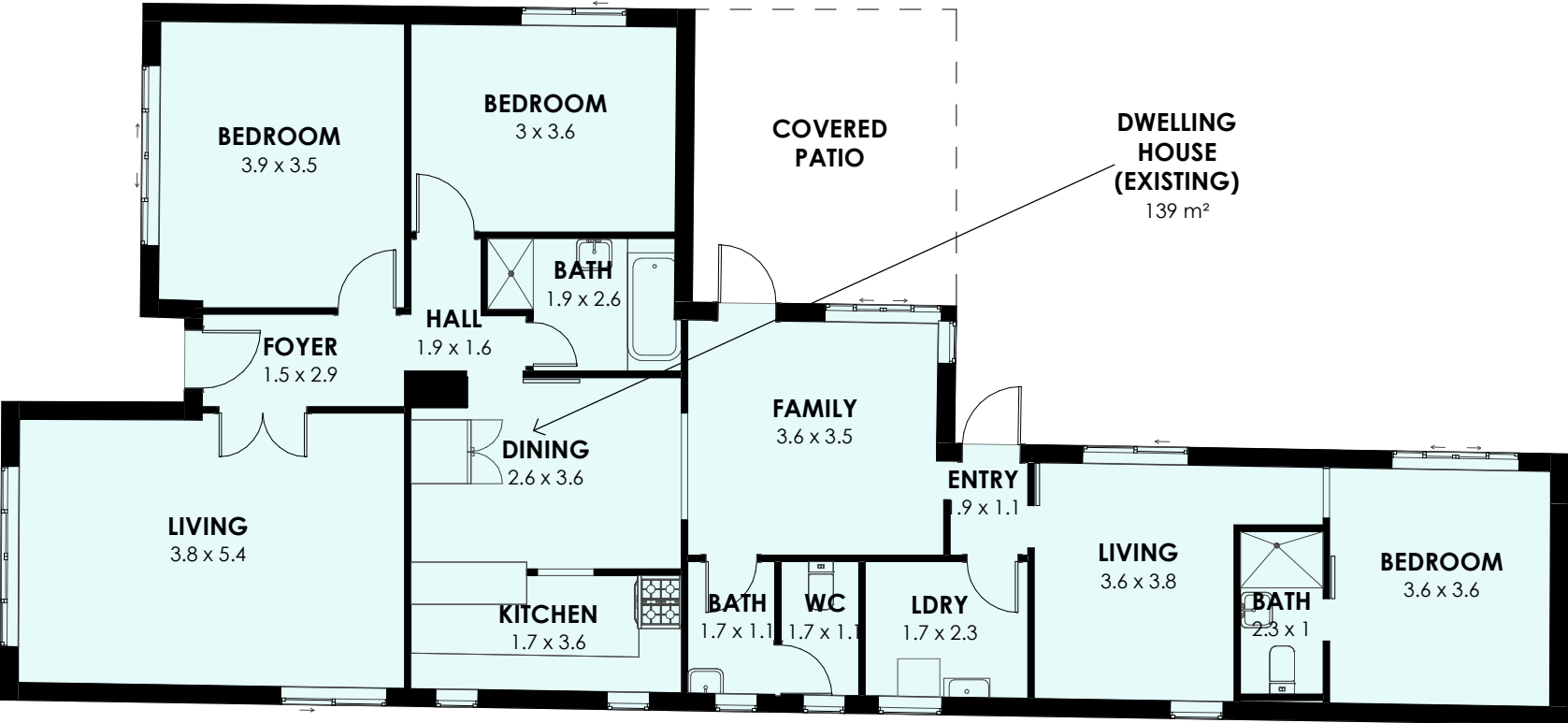
SURFMIST/SIMILAR COLORBOND ROOF







ALUM. FRAMED WINDOWS & DOORS



NAME	AREA
SECONDARY DWELLING	58.69 m ²
DWELLING HOUSE (EXISTING)	139.47 m ²
TOTAL	198.17 m ²



EXISTING	PROPOSED
9:00am SHADOW LINE 	9:00am SHADOW LINE 
12pm SHADOW LINE 	12pm SHADOW LINE 
3:00pm SHADOW LINE 	3:00pm SHADOW LINE 

AS PER PAGE 7 OF PLANNING AND BUILDING APPLICATION LODGEMENT GUIDE

5. SHADOW DIAGRAM
REQUIRED FOR ALL APPLICATIONS RESULTING IN A BUILDING BEING TWO STOREYS OR MORE.

THE PROPOSED BUILDINGS ARE SINGLE STOREY AND THEREFORE SHADOW DIAGRAMS ARE NOT REQUIRED

